



April 9, 2007

MEMORANDUM

BULLETIN L-01-07

To: All Permit Applicants

From: Thomas H. Goldsbury, P.E., C.B.O.
Chief, Building Inspection Division

Subject: Standardization of Landscape Plan Submittals for Single Family Development (DMG 10 set submittal) and Building Permit Submittal

The intent of this bulletin is to set forth a basic standard for communication of the landscape requirements on plans prepared for the Development Management Group (DMG) and Building Permit review regarding tree mitigation and minimum lot planting. **This does not change any code requirements, just setting basic standards so everyone submits in the same format, and our reviews can be quicker and more consistent.**

DMG Submittal

The following are the plans that require a standard format. These sheets include the **Tree Survey, Arborist's Report, Tree Removal and Mitigation Calculations, Developer Landscape Plan and Lot Grading Plan.** All of these are used to create the final mitigation calculations. On smaller projects more than one of these sheets may be combined. The plans are reviewed and confirmed by the inspector in the field and the landscape plans examiner or Landscape Architect in the office.

Tree Survey: Per Tree Ordinance 656.1206(a) (1) the tree survey should locate all of the protected trees by size and species. Non-protected hardwood trees that are identified for mitigation should also be labeled for the field review. Non-protected trees used for credit towards mitigation should be identified with a **triangle** around the tree.

Arborist Report: Per Tree Ordinance 656.1205(d) and 656.1206(h) no replacement shall be required for protected trees which are determined by the Chief to be dead or deteriorated as a result of age, insects, disease, storm, fire, lightning or other acts of nature. This may be an additional layer to the tree survey or a separate document and should include the name, phone number and identification number of the Arborist, Landscape Architect or other qualified inspector. There should be a list identifying the trees that includes the reason for the exemption. Standardization will include numbering the tree and identifying the defects for ease of identification in the field. This should be provided with the Preliminary 10 set submittal and should only identify trees which are not viable per current conditions. Trees that require trimming or other forms of abatement shall not apply. See Bulletin-L3-05 for additional information.

The minimum lot planting is based upon the square footage of the lot area. In this example if 150 lots required 4 inches per lot for a total of 600 inches, there is a balance due of 200 inches. These 200 inches could be added on to the minimum lot planting per lot, paid into the tree fund or planted by the Developer.

Lot Planting: Per Article 25, all mitigation shall be shade trees. If all of the lot planted trees are for mitigation, the plans should be clearly labeled **100% Shade Trees**. Sites where the minimum lot planting exceeds the mitigation, a combination of shade trees and non-shade trees may be planted. This percentage should also be labeled, for example **50%Shade Trees** or **75% Shade Trees**. Live oaks must be mitigated with minimum 4 inch caliper live oaks per 656.1206(h). From the example above, the plans will be labeled **100% Shade Trees**, 110 lots would each have one 4 inch Live Oak, and the other 40 lots would be planted with shade trees – species to be determined.

Tree Fund Payment: Since 50% of the trees removed were to be mitigated by Article 25 and 50% required by the tree ordinance, 100 inches at \$54 and 100 inches at \$107 for a total of \$16,100 will be paid into the tree fund prior to the site clearing permit issuance.

Developer Planting Plan: If the developer chooses the option of planting trees instead of making a payment to the tree fund then a landscape plan for this planting should be provided. The planting areas should be limited to ‘common areas’. If Developers plant mitigation on the lots, then the trees need to be identified on the lot grading plan by size and species and will be required to be protected. The triangle symbol should be used to indicate the credit previously applied towards mitigation. Per 656.1211 and 656.1217 the plan should include specifications of tree types by size and species. Planting that may be required for PUD compliance should also be provided as part of the Developer planting.

Lot Grading Plan: The final mitigation numbers must appear in a box on each lot in the format below, **Tree Inches Required**. This may be shortened or reduced as necessary as long as a legend is provided. Example, LO for live oak, S for shade tree, NS for non-shade tree, T for total inches. In order to determine the final number of trees to be planted, a separate table calculating the minimum lot planting requirements and a separate column indicating any additional planting to be provided towards mitigation. If there is additional planting then a third column is provided with the total which is transferred to the individual lot and ‘boxed’.

Protected trees to remain with barricades should be labeled by size and species and as a standard a circle shall be provided around each tree. Existing trees to remain which will be utilized to meet the minimum lot planting should be provided per Table 1 in 656.1211. For lots which do not require mitigation and have existing trees to remain; the protected trees saved to meet the shade tree requirements will be graphically indicated with a square. The protected trees saved to meet the non-shade tree requirements will be graphically indicated on the plans with a hexagon.

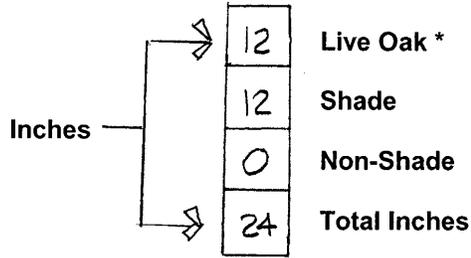
Certain projects that are more complicated, such as those with significant planting requirements on small lots, must be reviewed in the field prior to a Certificate of Occupancy (CO) for the home. These will require a final landscape inspection by a landscape inspector. “**17 INSPECTION REQUIRED**” should be boldly displayed on this sheet.

Individual House Building Permit Submittal

The plot plan for the building permit should show the same protected and credit trees and include the same legend of Tree Inches Required as shown on the Lot Grading Plan for the subdivision. For houses submitted in subdivisions approved prior to these standards, the Tree Inches Required legend should be left blank and will be completed by City Plans Examiners during the building permit review process.

Standardized Legend

**Tree Inches Required
To be Added to Each Lot**



*** 4" Minimum Caliper Required**



**Protected Tree to Remain
With Barricade**



**Protected Tree to be
Removed**



**Non-Protected Credit Trees or
Developer Planted Credit Trees**



**Minimum Lot Planting Credits -
Shade Trees**



**Minimum Lot Planting Credits -
Non-Shade**